

Turkey Lake, LLC
5352 Hwy 25, Suite H
Flowood, MS 39232

Madison County Board of Supervisors
125 West North Street
Canton, MS 39046
Madison, MS
2 March 2016

I am requesting a variance on the property that I own on Highway 22 in Canton, MS which is adjacent to the Madison County Mega Site which is owned by the Walker family. I purchased this 953 Acre piece of property on October 9, 2015 from the Walker Family.

This property is currently zoned Industrial. According to Article XXI of the Madison County Regulations under Section 2101-Land Use Permitted, permits outright downzoning to Commercial C-1 and Commercial C-2. Please see the attached copy of this document.

Currently, the Madison County Economic Development Authority (MCEDA) has an option to purchase 320 acres of my property which is the portion of the property surrounding the lake. Prior to the purchase of this property, it was understood by me and MCEDA that I would build a Corporate Lodge and Sales Office on the lake. Please see the attached option agreement that states that if MCEDA executes their option to purchase my property, they would reimburse me for the expense associated with building this lodge.

I am not requesting to modify the current zoning. I am simply requesting the variance to allow a building permit to be issued to me to build a Corporate Lodge and Sales Office on this property.

Please vote to allow a building permit to be issued to me for the proposed Turkey Lake Headquarters. Please see the enclosed copy of the plans for this building.

Thank you,

A handwritten signature in black ink, appearing to read "Heath Jenkins", with a long, sweeping underline that extends downwards.

Heath Jenkins

ARTICLE XXI

HEAVY INDUSTRIAL DISTRICT (I-2)

SECTION 2100 - PURPOSE OF THIS DISTRICT

The purpose of this district is to provide areas for the exclusive development of industrial uses that generally have *extensive space requirements* and/or in which all or part of the activities (other than temporary storage) associated with the use are conducted outdoors (outside of buildings). These activities often generate noise, odors, smoke or vibrations detectable to human senses off the premises on which the use is located.

It is the intent of this Ordinance that such "heavy" industrial districts be located insofar as possible adjacent only to C-2 Highway Commercial or Technical Industrial Park (TIP) districts, which shall serve as transitional zones between I-2 districts and residential uses and lower intensity commercial uses. Heavy industrial uses shall be located only in areas directly accessible to streets, roads, or highways designated as principal or minor arterials on the adopted Thoroughfares Plan of the Madison County or accessible to railroads.

SECTION 2101 - LAND USES PERMITTED

The land uses permitted in I-2 districts may include those located outside of buildings as well as those within buildings, subject to the regulations of this Ordinance and standards established by appropriate Federal and State regulatory agencies. The following uses are permitted outright:

- A. Any use permitted in General Commercial (C-1), Highway Commercial (C-2) and Technical Industrial Park (TIP) districts, subject to the regulations of those districts.
- B. Heavy manufacturing uses which are not potentially hazardous or offensive to neighboring land uses due to the emission of dust, gas, smoke, noise, fumes, odors, vibrations, or other objectionable influences shall be permitted by right in I-2 districts, except that manufacturing uses of the "wet" type (i.e., those industries which require large amounts of water in processing or discharge large amounts of by-products through the sewer system) shall be permitted only as conditional uses.
- C. High-mast transmission and receiving towers.
- D. Public roads and highways (excluding Federal Interstate highways and scenic parkways, which are regulated as special uses in SU-1 districts.)

**WALKER LANDS, LLC
1020 HIGHLAND COLONY PARKWAY
SUITE 802
RIDGELAND, MS 39157**

Madison County Economic Development Authority
623 Highland Colony Parkway, Suite 104
Ridgeland, MS 39157
Attn: Timothy P. Coursey, Executive Director

Re: Option and Joint Marketing Agreement dated December 5, 2012 between Walker Lands, LLC ("Walker Lands") and the Madison County Economic Development Authority ("MCEDA") (as amended, the "Option Agreement")

Dear Tim:

As you know, (i) Walker Lands and MCEDA are parties to the referenced Option Agreement and (ii) Turkey Lake, LLC ("Turkey Lake") offered to buy from Walker Lands 947 acres, more or less, of property which is shown on the attached Exhibit A (the "Property") and is part of the property subject to the Option Agreement.

The purpose of this letter is to set forth the agreement of MCEDA, Walker Lands and Turkey Lake regarding the Property. The parties agree as follows:

1. MCEDA consents to the sale of the Property by Walker Lands to Turkey Lake. MCEDA hereby waives its right of first refusal under the Option Agreement with respect to the Property, excluding the 320 acres, more or less, of lake area ("Lake Area") which is the area south and east of the blue lines on Exhibit A. MCEDA releases the Property, excluding the Lake Area, from the Option Agreement if the closing of the sale of the Property occurs.
2. If the closing of the sale of the Property occurs, Turkey Lake will assume the Option Agreement with respect only to the Lake Area pursuant to a partial assignment document acceptable to MCEDA, Walker Lands and Turkey Lake. The partial assignment will provide that if MCEDA exercises the option to purchase the Lake Area, (i) at Turkey Lake's election, MCEDA will reimburse Turkey Lake for the actual cost of a cabin which Turkey Lake places on the Lake Area in an amount not to exceed \$1,000,000.00 or Turkey Lake shall have the right to remove the cabin and MCEDA will pay Turkey Lake the cost of removal, (ii) MCEDA will grant Turkey Lake a non-exclusive access easement to the Property along or near Nose Road and (iii) MCEDA will purchase all and not part of the Lake Area. The partial assignment

will also provide that the Lake Area will be released from the Option Agreement when the current term of the Option Agreement expires.

If you are in agreement with the foregoing, please sign and return one copy of this letter agreement, which thereupon will constitute our agreement with respect to its subject matter.

Walker Lands, LLC

By: Belinda B. Styer
Title Executive Vice President

Agreed and Accepted:

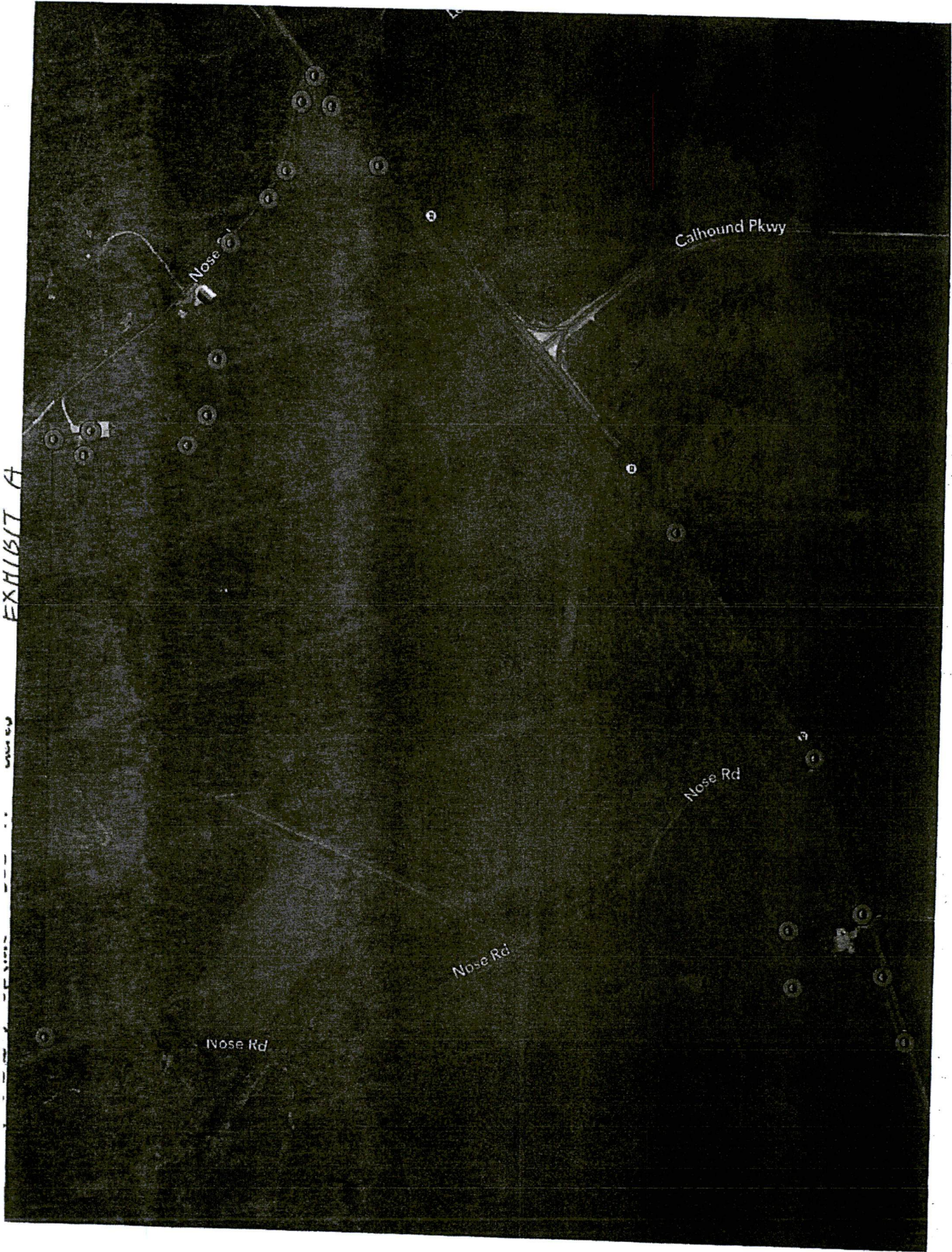
Madison County Economic Development Authority

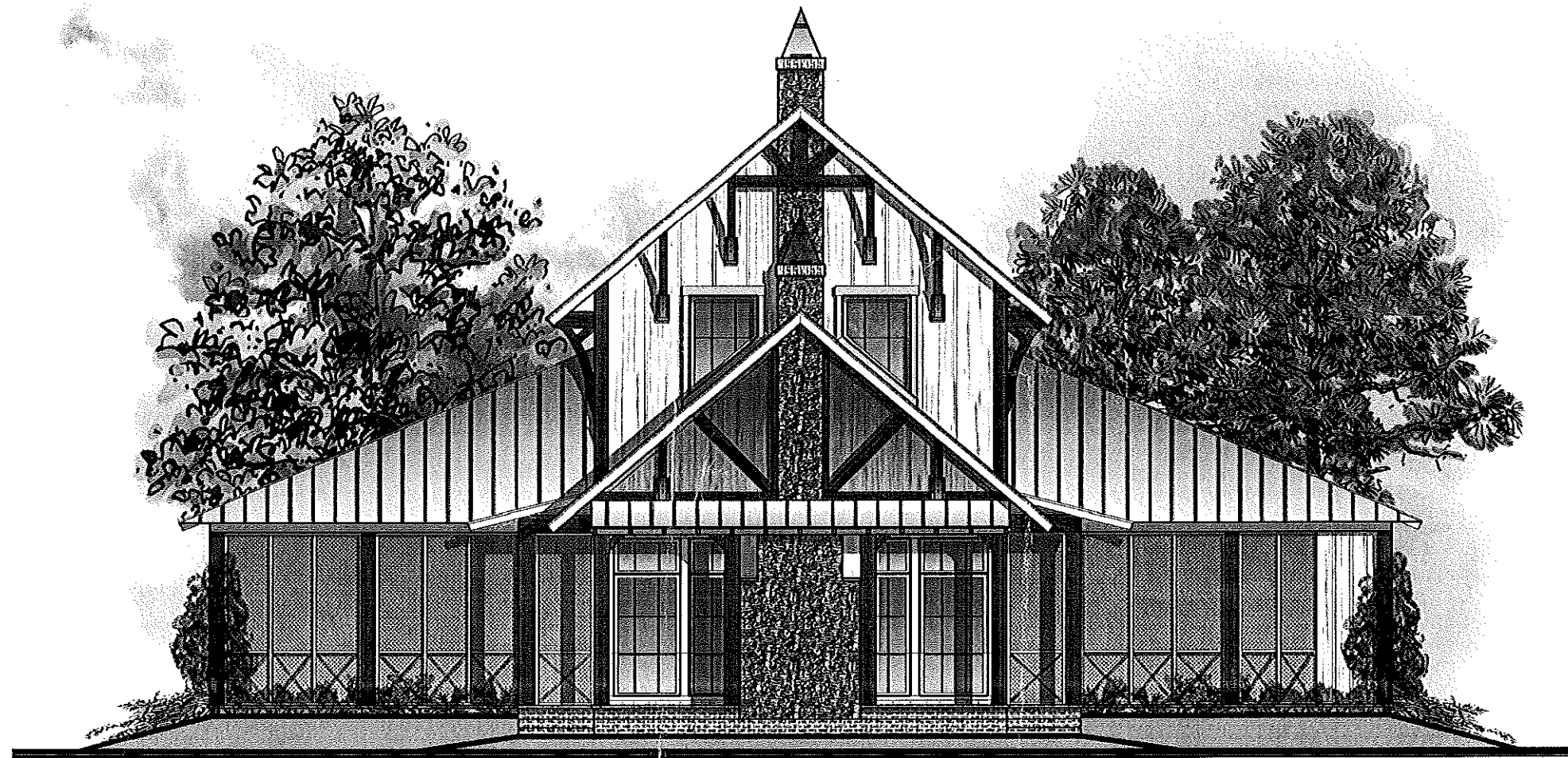
By: [Signature] 8/7/15
Timothy P. Coursey, Executive Director

Turkey Lake, LLC

By: [Signature]
Heath Jenkins, Member 8/7/15

EXHIBIT A





CUSTOM DESIGNED FOR
TURKEY LAKE HEADQUARTERS

INSPIRATIONS DESIGN GROUP, INC.



INSPIRATIONS DESIGN GROUP

ADDRESS

304 HWY 5
 SUITE A
 MADISON, MS 39110

601 707-5600

REVISIONS

NO. DATE

NO.	DATE

PROJECT DATA

HWY 22 PROPERTY
MADISON, MS 39110
BUILDER: -TURKET LAKE HQ,

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DATE:

February, 2018

SCALE

AS SHOWN

PROJECT NO.:

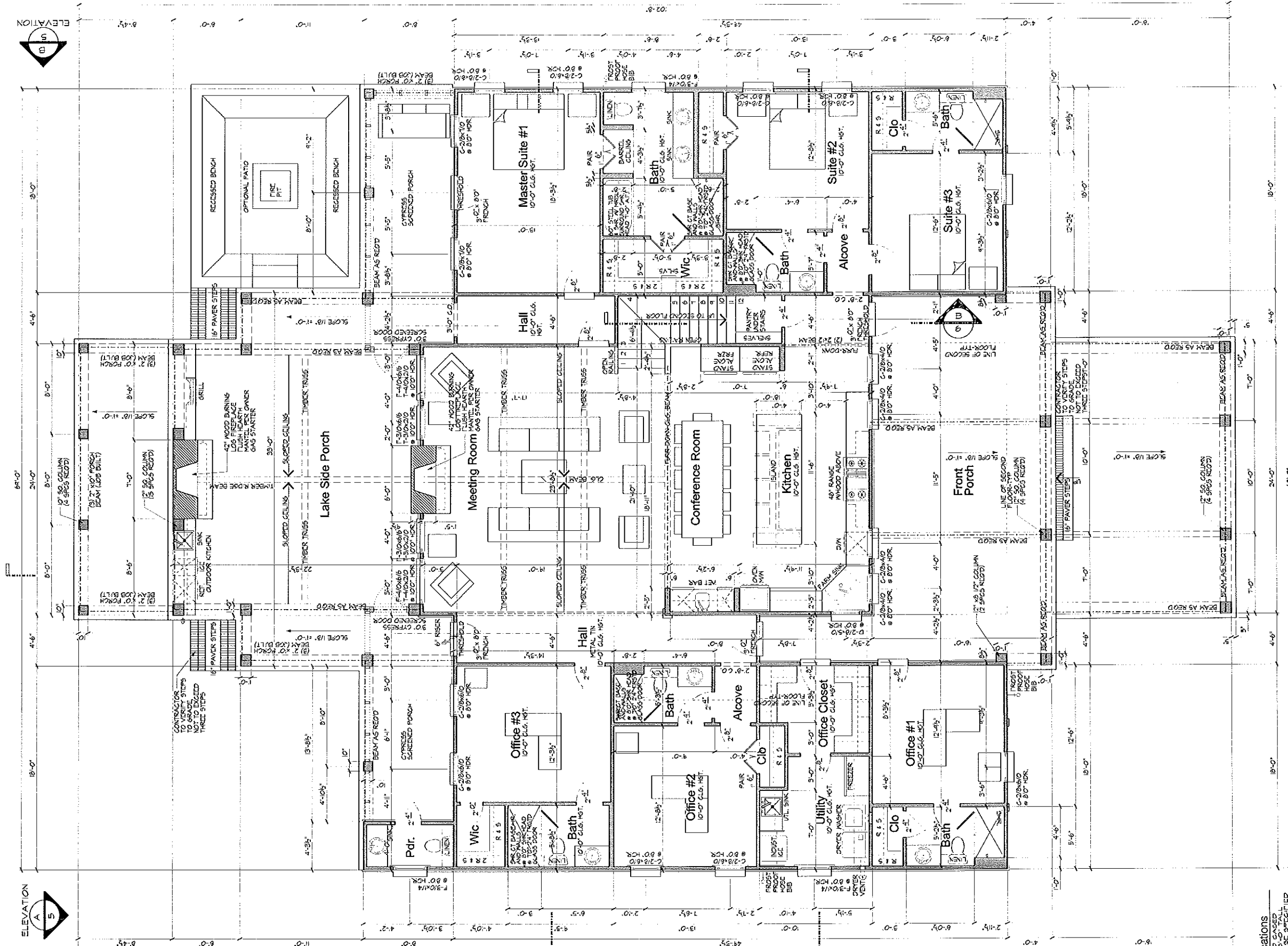
176-5A

SHEET NO.

1 OF **9**

DESCRIPTION

Cover Sheet



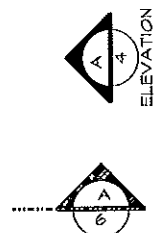
Door Specifications
 ALL DOORS AND CASING TO BE 1 3/4" MIN. THICK UNLESS SPECIFIED OTHERWISE.
 ALL EXTERIOR DOORS TO HAVE WEATHERSTRIPPING AND THRESHOLDS.

Window Specifications
 ALL WINDOWS TO BE 1 3/4" MIN. THICK UNLESS SPECIFIED OTHERWISE.
 ALL WINDOWS TO BE 1 3/4" MIN. THICK UNLESS SPECIFIED OTHERWISE.
 ALL WINDOWS TO BE 1 3/4" MIN. THICK UNLESS SPECIFIED OTHERWISE.
 ALL WINDOWS TO BE 1 3/4" MIN. THICK UNLESS SPECIFIED OTHERWISE.

General Notes
 TRIPLE PLY GROUND UNDER ALL LAWS, BEAMS AND SUPPORT BEAMS AS REQ'D.
 BEAMS AS REQ'D.
 ALL EXTERIOR DOORS TO HAVE WEATHERSTRIPPING AND THRESHOLDS.

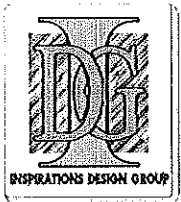
Stair Calculations
 114.84' TOTAL RISE FROM FLOOR TO FLOOR
 108 T. - 2" MIN. CEILING RISERS
 107.07' MIN. TREADS
 10'-0" CLG. 166" DOWN

Floor Plan-First Floor
 SCALE 1/4" = 1'-0"



Area Calculations

LIVING AREA FIRST FLOOR	7582
LIVING AREA LOFT	328
TOTAL LIVING AREA	7910
PORCHES	350
TOTAL AREA	8260
AREAS ABOVE DO NOT INCLUDE BRICK VENEER	



ADDRESS
 304 HWY 5
 SITE A
 MADISON, MS 39110
 601-701-5648

REVISIONS

MARK	DATE

PROJECT DATA

HWY 22 PROPERTY
 MADISON, MS 39110
BUILDER: -TURKET LAKE HQ,
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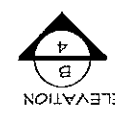
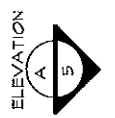
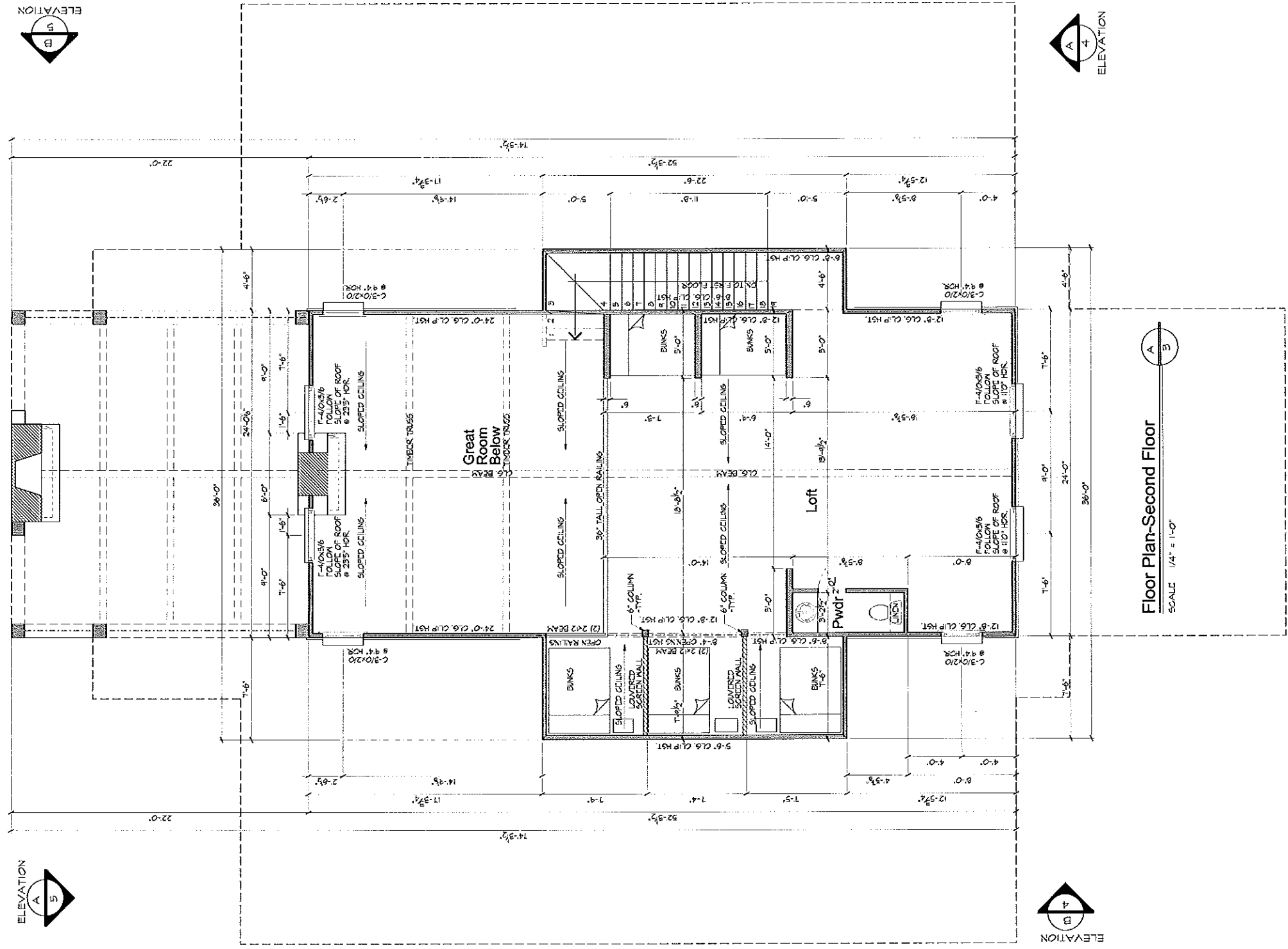
DATE:
 February 2018

SCALE
 AS SHOWN

PROJECT NO.:
 16-5A

SHEET NO.
 2 of 6

DESCRIPTION
 Floorplan



Floor Plan-Second Floor
SCALE 1/4" = 1'-0"



ADDRESS
324 HWY 5
SITE A
MADISON, MS 39110
601-561-5849

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MARK	DATE

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HWY 22 PROPERTY
MADISON, MS 39110
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SHEET NO.
3 OF **9**

DESCRIPTION
2nd Floor



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ADDRESS
304 HAY S
BAY A
MADISON, MS 39110
(601) 201-5649

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MARK	DATE

PROJECT DATA

HWY 22 PROPERTY
MADISON, MS 39110
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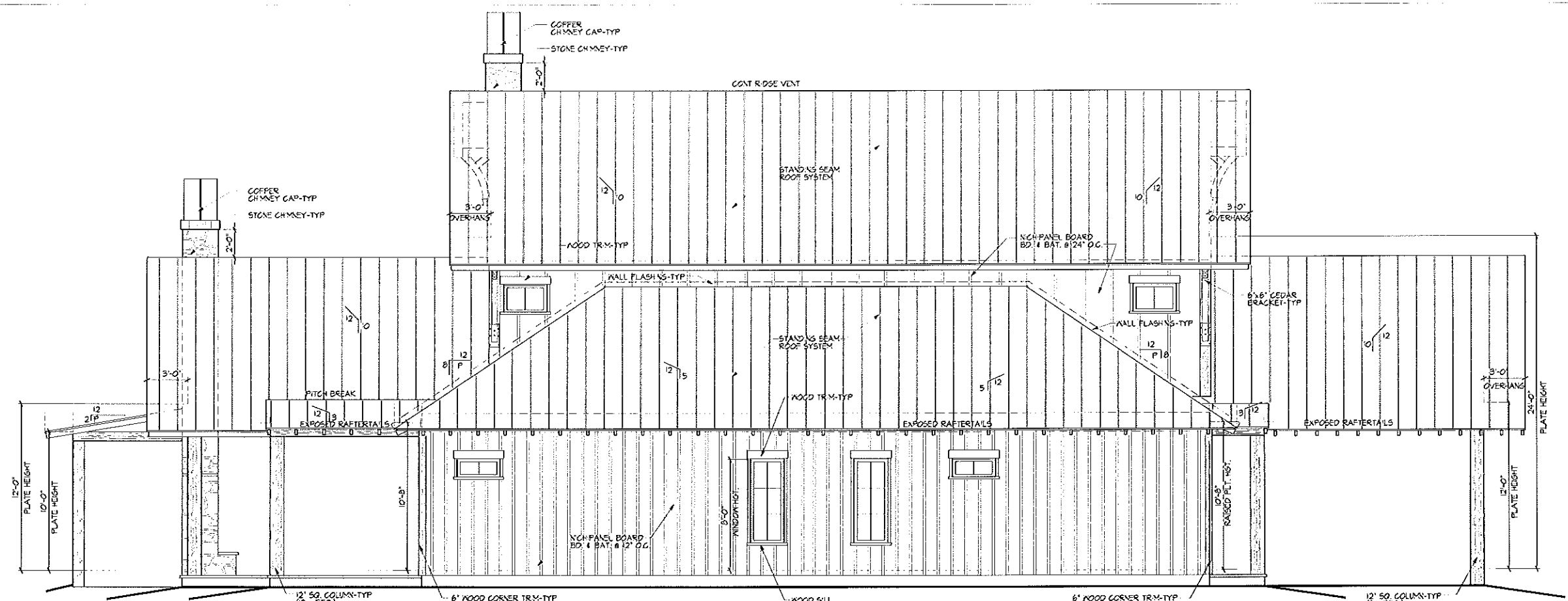
SCALE:
AS SHOWN

PROJECT NO:
176-5A

SHEET NO.
4 of 9

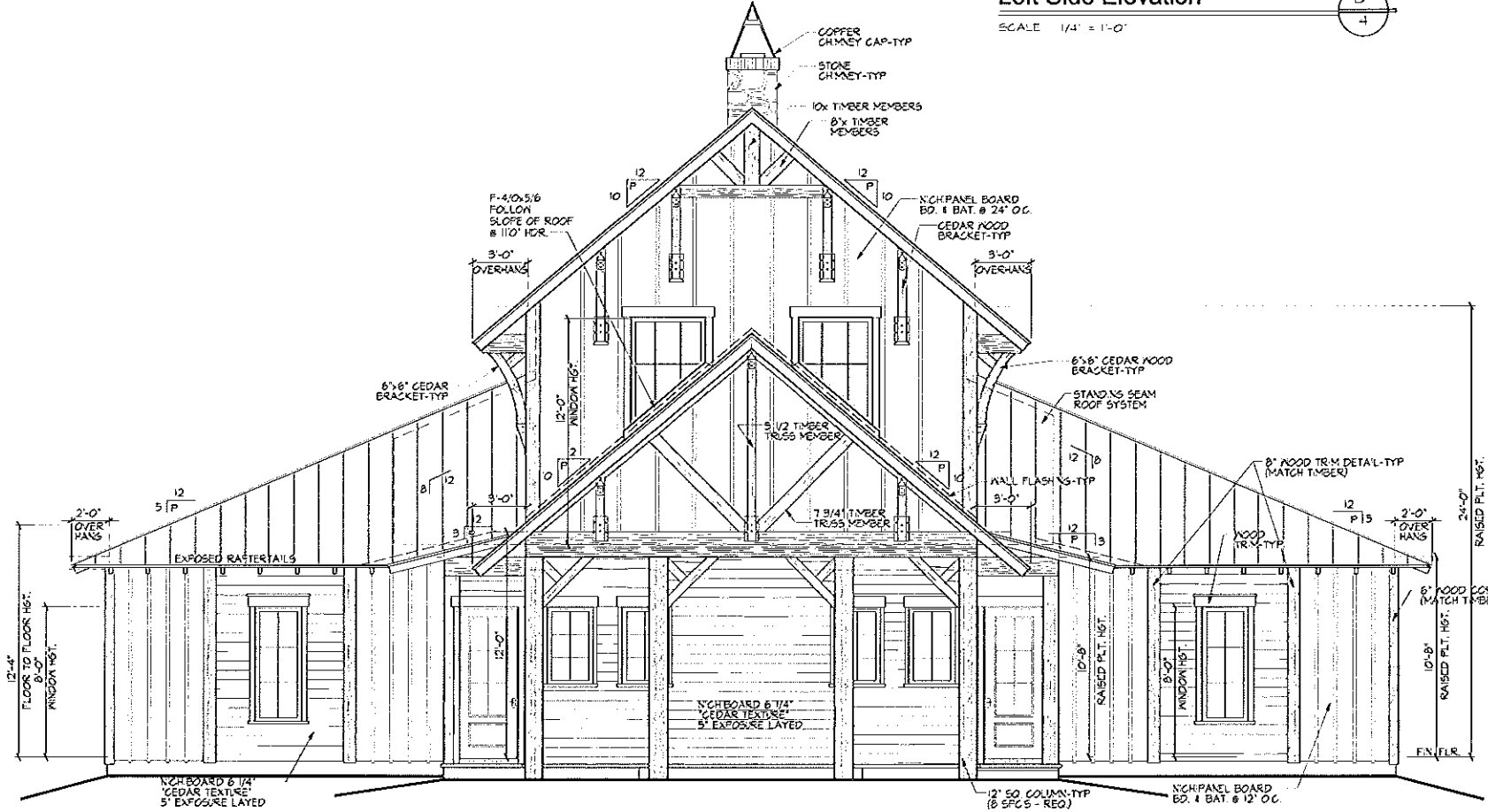
DESCRIPTION
Elevations

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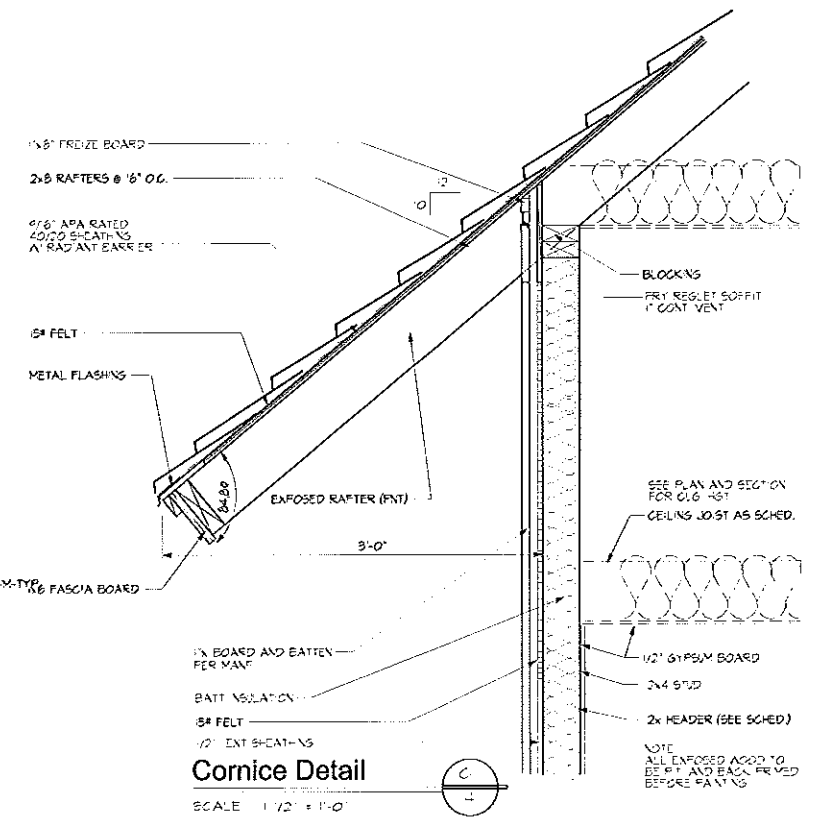
Left Side Elevation

SCALE 1/4" = 1'-0"



Front Elevation

SCALE 1/4" = 1'-0"



Cornice Detail

SCALE 1/2" = 1'-0"



INSPIRATIONS DESIGN GROUP

ADDRESS

304 HWY 5
SITE A
MADISON, MS 39110
601.707.5629

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HWT 22 PROPERTY
MADISON, MS 39110
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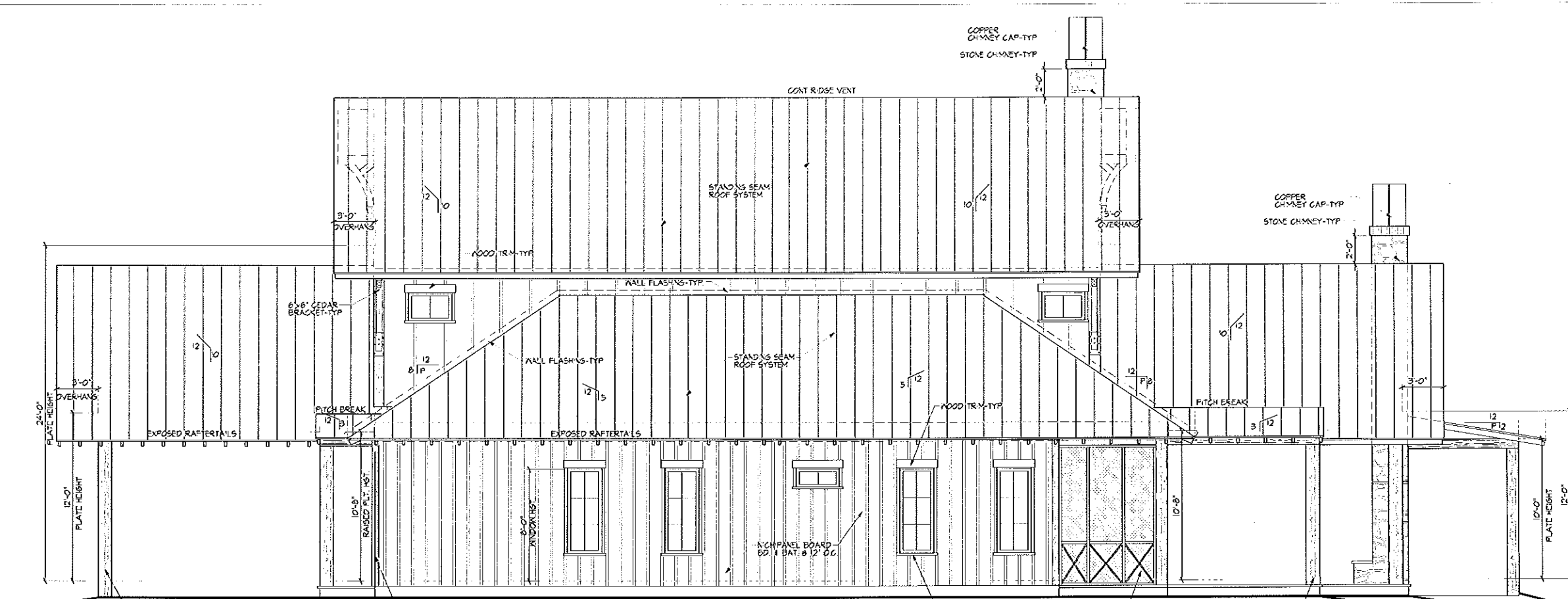
176-5A

SHEET NO.

5 of 9

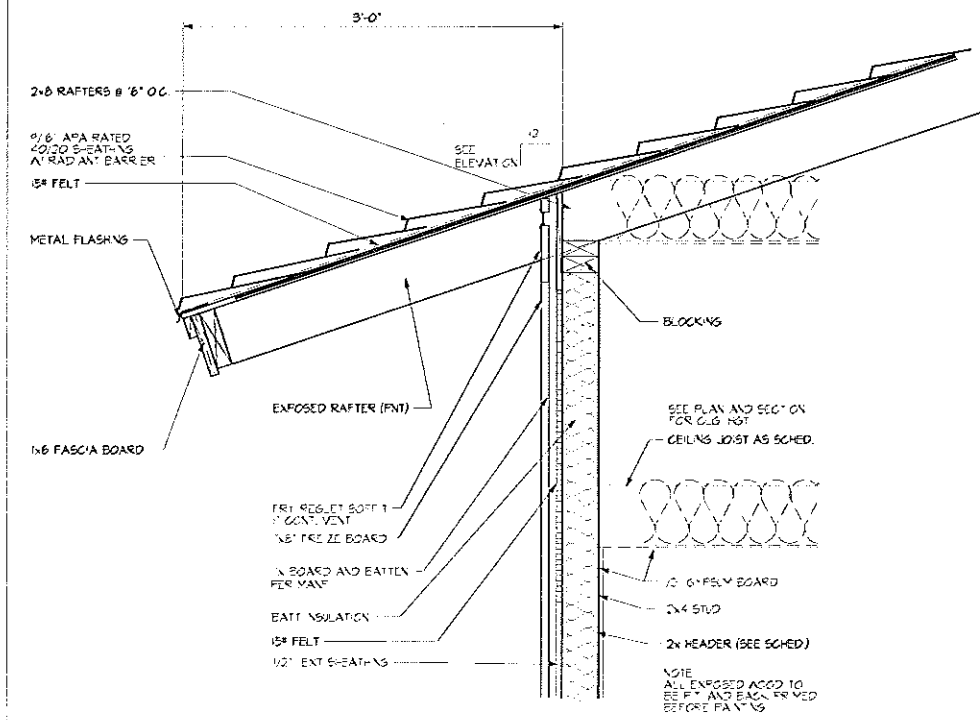
DESCRIPTION

Elevations



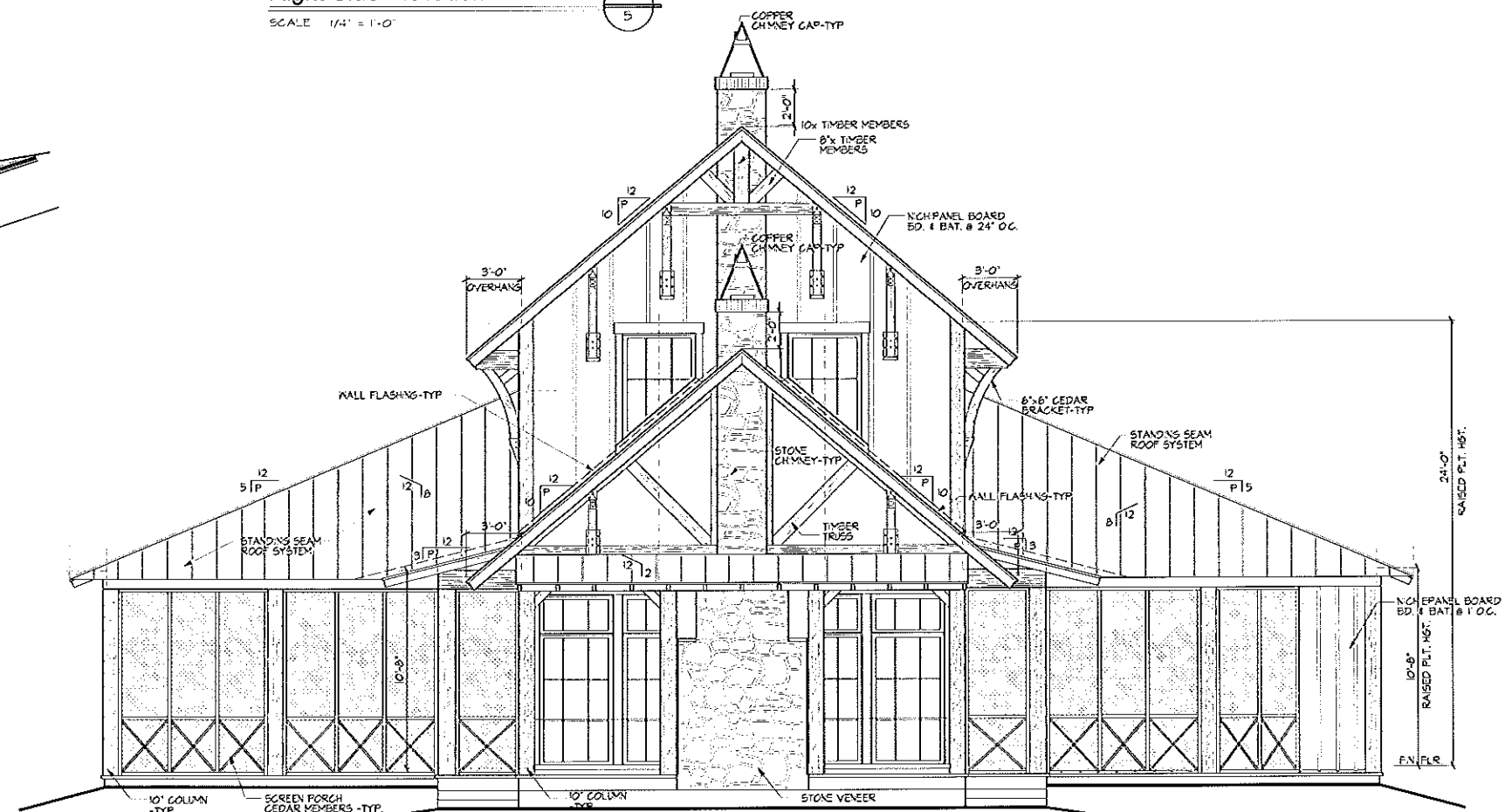
Right Side Elevation

SCALE 1/4" = 1'-0"



Cornice Detail

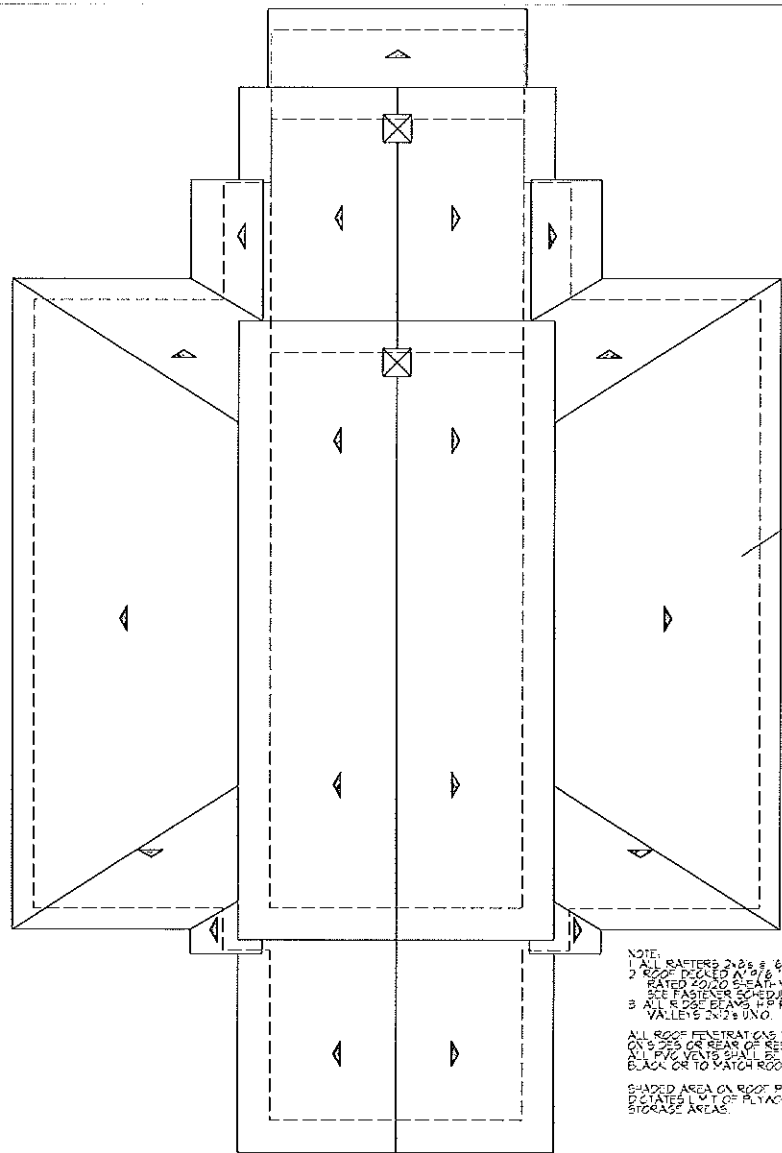
SCALE 1/2" = 1'-0"



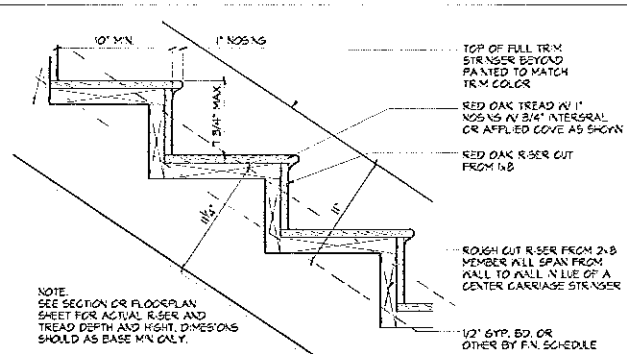
Rear Elevation - Lake View

SCALE 1/4" = 1'-0"

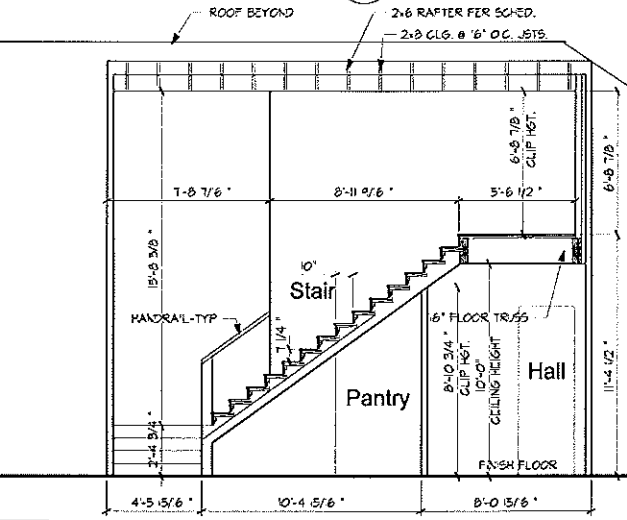




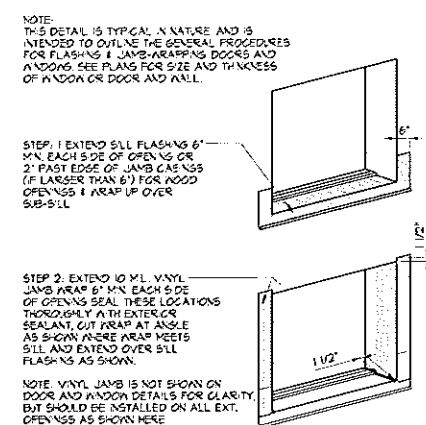
Roof Plan
SCALE N.T.S.



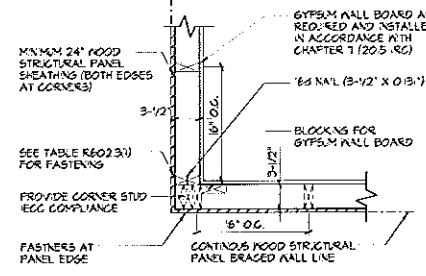
Stair Detail
SCALE 1 1/2" = 1'-0"



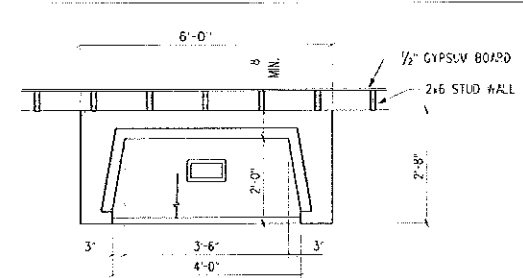
Stair Section
SCALE 1/4" = 1'-0"



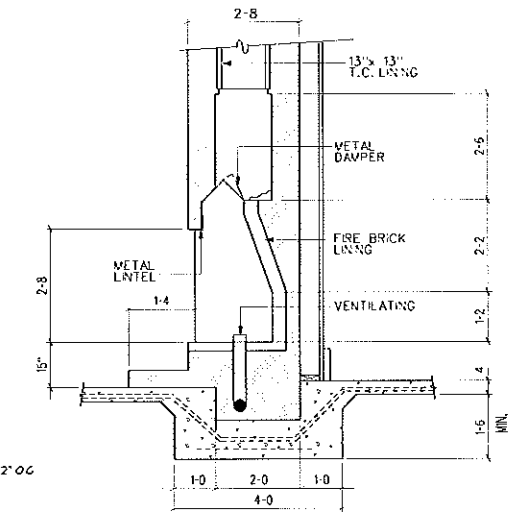
Flashing Detail
SCALE N.T.S.



Outside Corner Detail
SCALE 1" = 1'-0"

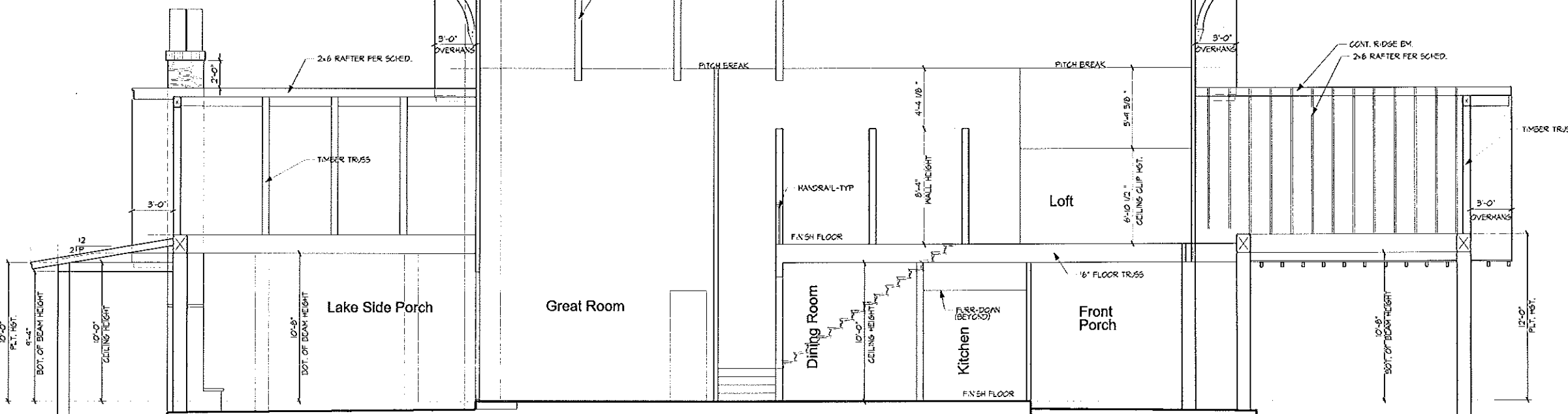


PLAN



SECTION

Fireplace Details
SCALE 1/2" = 1'-0"



Building Section
SCALE 1/4" = 1'-0"



ADDRESS
304 HAYB
SUITE A
MADISON, MS 39110
(601) 701-5649

REVISIONS

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PROJECT DATA

HWT 22 PROPERTY
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PROJECT NO.:
176-5A

SHEET NO.
6 of 9

DESCRIPTION
Building Section

LUMBER SPANS - #2 SOUTHERN YELLOW PINE

THESE SPANS ARE FROM BC 2015

CEILING JOIST SPACING (INCHES)	FLOOR JOISTS - BEDROOMS				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	11'-3"	14'-11"	18'-1"	21'-4"	
16" O.C.	10'-3"	13'-3"	15'-8"	18'-6"	
24" O.C.	8'-6"	10'-0"	12'-0"	15'-1"	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

CEILING JOIST SPACING (INCHES)	FLOOR JOISTS - REMAINDER OF HOUSE				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	10'-5"	13'-8"	16'-2"	19'-1"	
16" O.C.	9'-4"	11'-0"	14'-0"	16'-6"	
24" O.C.	7'-7"	9'-8"	11'-5"	13'-6"	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

CEILING JOIST SPACING (INCHES)	CEILING JOISTS-ROOF LESS THAN 3:12 PITCH				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	18'-8"	14'-7"	26'	26'	1. NO ATTIC STORAGE
16" O.C.	16'-1"	12'-1"	25'-7"	26'	
24" O.C.	13'-11"	11'-7"	20'-11"	26'	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

CEILING JOIST SPACING (INCHES)	CEILING JOISTS				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	13'-11"	11'-7"	20'-11"	26'	1. WITH ATTIC STORAGE
16" O.C.	12'-0"	9'-5"	18'-1"	26'	
24" O.C.	9'-0"	12'-6"	14'-1"	26'	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

RAFTERS WITHOUT CEILING ATTACHED	MAXIMUM JOIST SPAN				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	15'-1"	19'-8"	23'-5"	26'	
16" O.C.	13'-6"	17'-1"	20'-3"	23'-0"	
24" O.C.	11'-0"	13'-11"	16'-6"	19'-6"	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

RAFTERS WITH GYP. CEILING ATTACHED	MAXIMUM JOIST SPAN				NOTES:
	2x6	2x8	2x10	2x12	
12" O.C.	14'-9"	14'-6"	23'-5"	26'	
16" O.C.	13'-5"	17'-1"	20'-3"	23'-0"	
24" O.C.	11'-0"	13'-11"	16'-6"	19'-6"	
MAXIMUM JOIST SPAN					
(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	

ALLOWABLE SPANS FOR LINTELS

SUPPORTING MASONRY VENEER

SIZE OF STL. ANGLE	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NOTES:
3x3x1/4	6'-0"	4'-6"	3'-0"	
4x3x1/4	8'-0"	6'-0"	4'-6"	
5x3x5/8	10'-0"	8'-0"	6'-0"	
6x3 1/2x5/8	14'-0"	9'-6"	7'-0"	
2-6x3 1/2x5/8	20'-0"	12'-0"	9'-6"	

LONG LEG OF THE ANGLE SHALL BE PLACED IN VERTICAL POSITION.

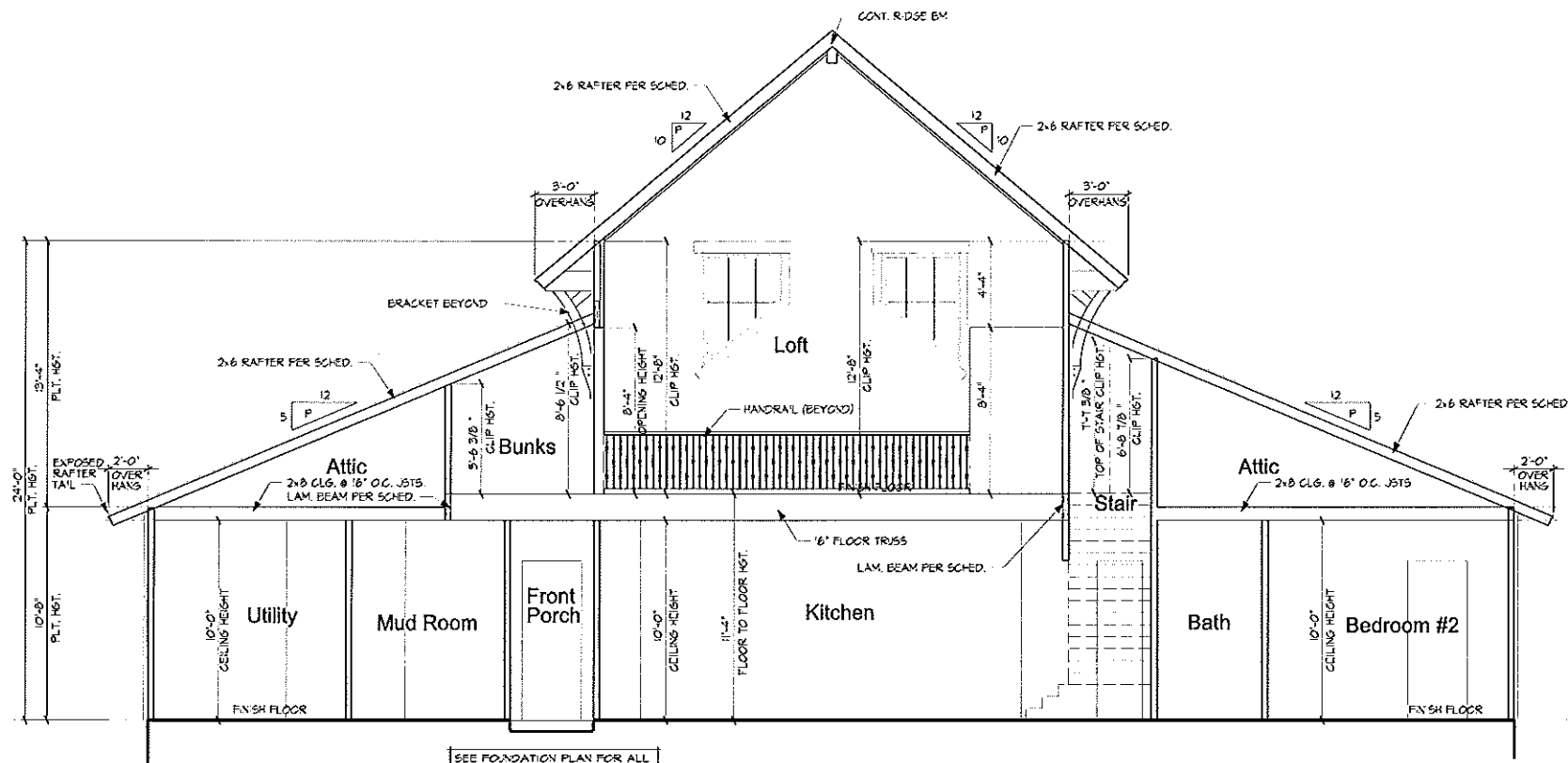
STL. MEMBERS NOTICED ARE ADEQUATE TYPICAL EXAMPLES/ OTHER STL. MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.

EITHER STEEL ANGLE OR LINTEL SHALL SPAN OPENINGS.

HEADER DESIGN SCHEDULE

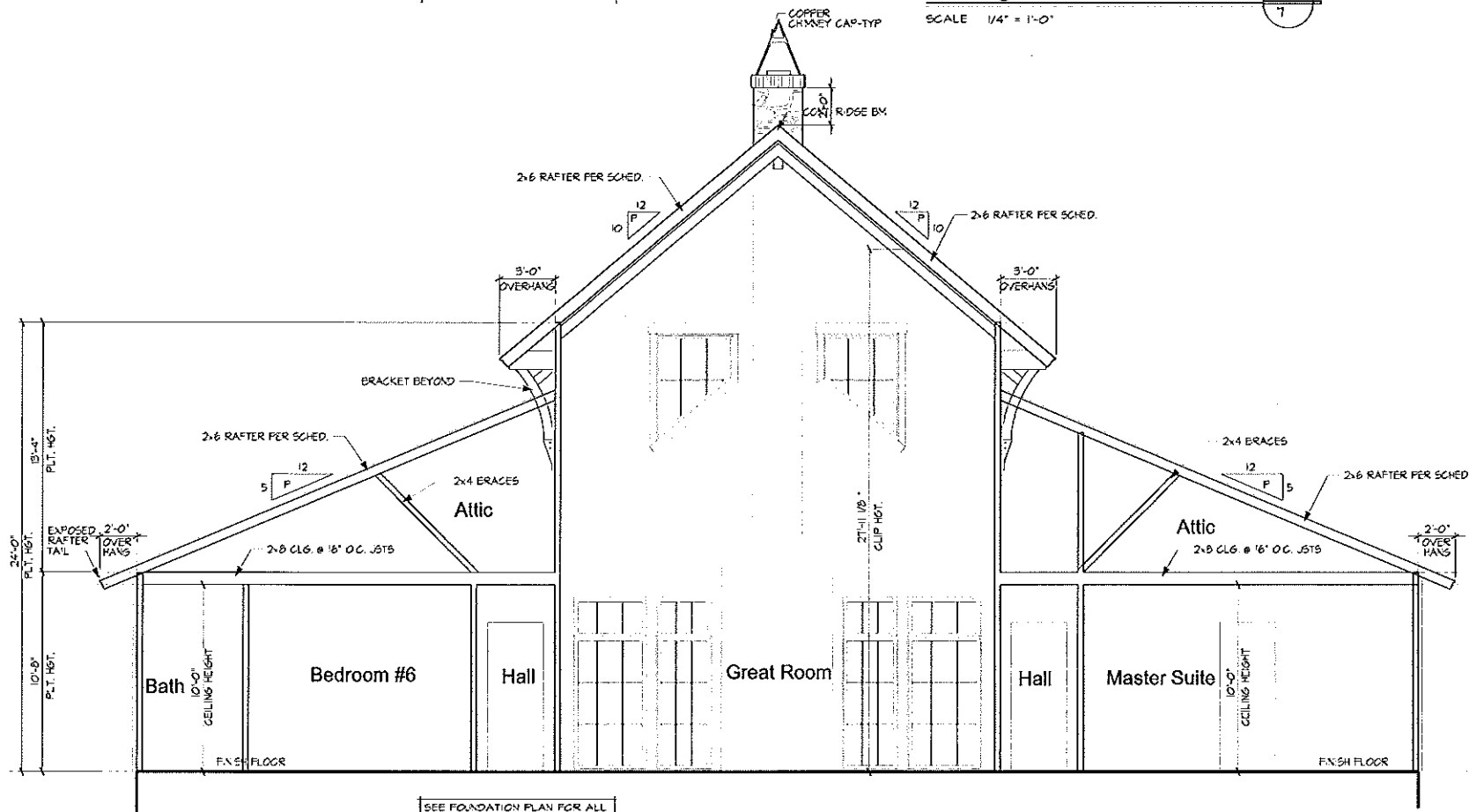
RAFTER SPACING	HEADER SIZE	MINIMUM ALLOWABLE HEADER SPAN (FEET)					
		24"	28"	32"	36"	40"	44"
POOF PLUS ONE STORY (NO BEARING)	2x14	4'-8"	4'-5"	4'-3"	4'-9"	4'-5"	4'-3"
	2x16	5'-10"	5'-5"	5'-1"	6'-0"	5'-7"	5'-3"
	2x18	6'-9"	6'-5"	5'-11"	7'-0"	6'-6"	6'-1"
POOF PLUS ONE STORY (NO BEARING)	2x10	8'-0"	7'-5"	6'-11"	8'-2"	7'-7"	7'-1"
	2x12	9'-3"	8'-7"	8'-1"	9'-5"	8'-9"	8'-3"
	2x14	10'-11"	10'-1"	9'-5"	10'-9"	10'-3"	9'-7"
POOF PLUS ONE STORY (NO BEARING)	2x6	4'-8"	4'-4"	4'-0"	4'-10"	4'-5"	4'-2"
	2x8	5'-5"	5'-0"	4'-8"	5'-7"	5'-2"	4'-10"
	2x10	6'-4"	5'-11"	5'-5"	6'-5"	6'-0"	5'-8"
2x12	7'-5"	6'-10"	6'-5"	7'-5"	7'-0"	6'-6"	

No. 2 K.D. Southern Pine No. 2 Double joist under 2x8.



Building Section

SCALE 1/4" = 1'-0"



Building Section

SCALE 1/4" = 1'-0"



INSPIRATIONS DESIGN GROUP

ADDRESS

304 PAT 3
SUITE A
MADISON, MS 39110
601-707-2649

REVISIONS

MARK DATE

MARK	DATE

PROJECT DATA

Hwy 22 Property
MADISON, MS 39110
BUILDER: TURKEY LAKE HQ.

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DATE:

February 1, 2018

SCALE

AS SHOWN

PROJECT NO.:

176-5A

SHEET NO.

7 of 9

DESCRIPTION

Building Section

SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Duplex Outlet in Base Board	SD	Smoke Detector in areas 5 ft. above floor in all sleeping areas in building.
	Duplex Outlet Under Cabinet		Cup Bolt Light
	Duplex In floor		Recessed Can Light-6" Standard
	Duplex Outlet Mounted in Split		Recessed Can Light-3"
	220 volt 3 Phase outlet		Wall Mounted Science Light
	Phone		Light Fixture to be selected by Owner
	Cable outlet		30" Ceiling Fan w/ Lighting
	Single Pole Switch		Fluorescent Switch (dial)
	3 Pole Switch		52" Ceiling Fan
	Motion Detector Symbol (floor light w/		Recessed 2x4 Fluorescent Fixture N/A 40 Watt Bulbs
	30" Strip Light N/A		Recessed 1x4 Fluorescent Fixture N/A 40 Watt Bulbs
	40 Watt Tracked Bulb		Door Chime
	Under Cabinet Strip Light		Push Button
	600 Lumen Ceiling Mounted See Elevations for height		
	Cabinet Top		
	Meter Base		
	Breaker Panel		

GENERAL CODE NOTES

1. ALL BEDROOMS TO BE A/C FAULT PROTECTED.
2. MAKE SURE GAS IS PROPERLY GROUNDED.
3. VENT ALL BATHROOM EXHAUST FANS THRU ROOF.
4. SET ATTIC SPACE FOR LOCATION OF HVAC AND WATER HEATERS.

ELECTRICAL SCHEDULE

- A. A PANEL SCHEDULE TO INCLUDE THE FOLLOWING MIN. NUMBER OF CIRCUITS:
1. ONE 15 AMPERE BRANCH CIRCUIT FOR EACH 600 SQ. FT. OF FLOOR AREA.
 2. ONE 20 AMP BRANCH CIRCUIT FOR EACH 100 SQ. FT. OF FLOOR AREA.
 3. ONE 20 AMP BRANCH CIRCUIT FOR THE LAUNDRY.
 4. ONE BRANCH CIRCUIT FOR THE RANGE OR COOKTOP.
 5. ONE BRANCH FOR A/C AND HEATING.

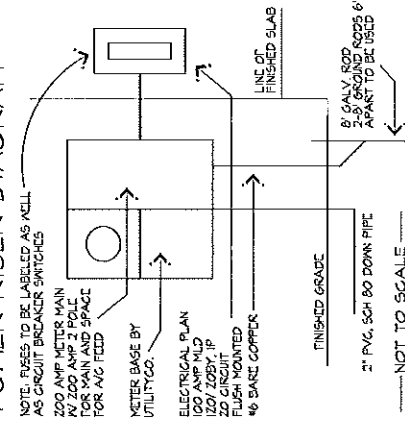
GENERAL LIGHTING NOTES

- A. LIGHT FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO LOCATIONS SHOWN ON THIS PLAN. FIXTURES SHALL ALIGN WITH CENTER OF EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENTS. COORDINATE LIGHTING WITH ARCHITECTURAL ELEMENTS. THERE MAY BE CONFLICTS, GRILLES AND REGISTER SHALL BE BLOCKED AS REQUIRED SO THAT THEY ALIGN WITH LIGHT FIXTURES. LIGHT FIXTURE AND SWITCH LOCATIONS SHALL BE REVIEWED AND APPROVED BY OWNER OR ARCHITECT BEFORE INSTALLATION OF SHEetrock OR OTHER WALL AND CEILING FINISHES.
- B. CENTER DIMS SHOWN IN CEILING AREA UNLESS NOTED OTHERWISE.
- C. GUTTER DIMENSIONS ARE SHOWN TO FACE OF TRAMING UNLESS NOTED OTHERWISE.
- D. SWITCHES SHALL BE LOCATED ADJACENT TO BUT NOT INTERSECTING DOOR SWINGS AND SHALL BE CANSIZED SIZE AND EXTENDED TO THE ROOM COVERED WITH A SINGLE PLATE DESIGNED FOR THAT PURPOSE. SWITCHES SHALL TYPICALLY BE MOUNTED 48" AFF. TO CENTER OF SWITCH.
- E. SUPPORT ALL FIXTURES RIGIDLY FROM STRUCTURE OF BUILDING.
- F. VERIFY DEVICE AND PLATE COLORS WITH OWNER OR INTERIOR DESIGNER.

6. CONSULT WITH OWNER AND ADD EXTERIOR SECURITY LIGHTING IF REQUIRED (VERIFY LIGHTING TYPE AND SWITCHING).
7. CONSULT WITH OWNER AND ADD LANDSCAPING LIGHTING IF REQUIRED. TO PHOTOCELL CONTROL RELAYS WITH TIME-LOCK OVERCIRCUIT FOR TIME-CONTROLLED ILLUMINATION DURING DARKNESS.

8. ALL FLUORESCENT LAMPS SHALL BE MARK WHITE DELUXE.

POWER RISER DIAGRAM

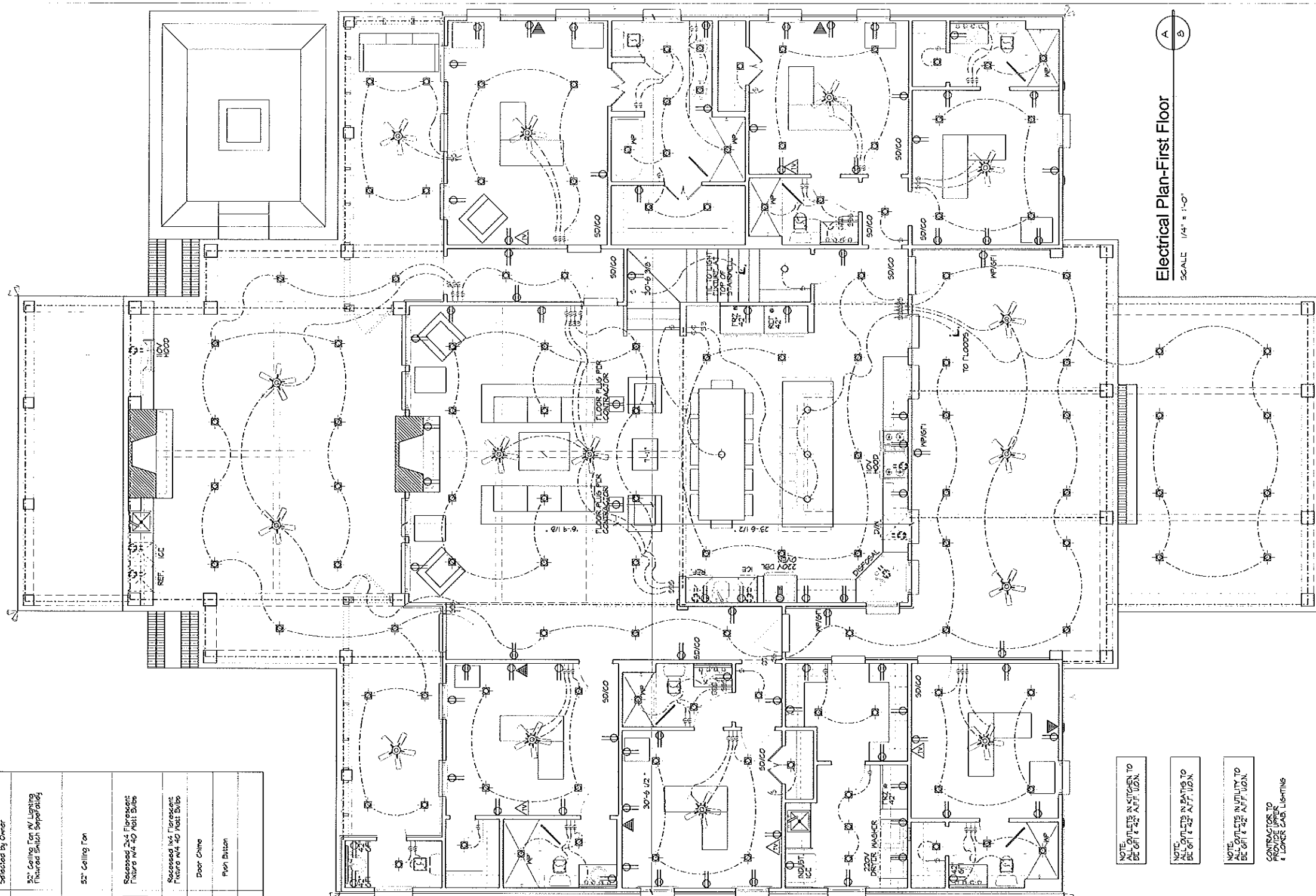


NOTE: ALL OUTLETS IN STAIRWELL TO BE OFF 1-45' AFF. U.O.N.

NOTE: ALL OUTLETS IN BATHS TO BE OFF 1-45' AFF. U.O.N.

NOTE: ALL OUTLETS IN UTILITY TO BE OFF 1-45' AFF. U.O.N.

CONTRACTOR TO PROVIDE UPPER & LOWER CAB. LIGHTING



Electrical Plan-First Floor
SCALE 1/4" = 1'-0"



ADDRESS
504 HAY S
SUITE A
MADISON, MS 39110
601-701-8649

REVISIONS

MARK	DATE

PROJECT DATA

HWY 22 PROPERTY
MADISON, MS 39110
BUILDER: -TURKEY LAKE HQ,

COPYRIGHT
For the purpose of this plan, the contractor shall be responsible for obtaining all necessary permits and for the proper installation of the electrical system. The contractor shall be responsible for the proper installation of the electrical system and for the proper installation of the electrical system.

DATE: February 1, 2018

SCALE: AS SHOWN

PROJECT NO.: 176-5A

SHEET NO.: 8 of 9

DESCRIPTION: Electrical Plan



ADDRESS
 3024 HWY 5
 SUITE A
 MADISON, MS 39110
 P.O. #01-5649

REVISIONS

MARK	DATE

PROJECT DATA

HWY 22 PROPERTY
MADISON, MS 39110
BUILDER: -TURKET LAKE HQ-

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DATE:
 February 1, 2016

SCALE:
 AS SHOWN

PROJECT NO.:
 176-5A

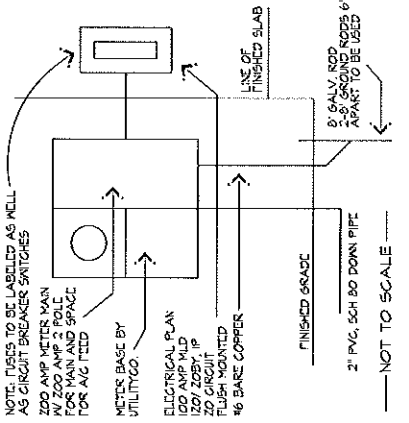
SHEET NO.:
 9 of 9

DESCRIPTION:
 Electrical Plan

SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Duplex Outlet in Base Board	SD	Smoke detector-wall smoke detectors wired to monitor 2nd floor sleeping area
	Duplex Outlet under Cabinet		Eye Bolt Light
	Duplex in Floor		Recessed Can Light-6" Standard
	Duplex Outlet Mounted in Soffit		Recessed Can Light-3"
	220 volt 3 Phase outlet		Mail Mounted Sconce Light
	Phone		Light Fixture to be Soffited by Owner
	Cable outlet		32" Ceiling Fan w/ Lighting Fluorescent Switch Separating
	Single Pole Switch		52" Ceiling Fan
	3 Pole Switch		Recessed 2x4 Fluorescent Fixture w/4 40 Watt Bulbs
	Motion Detector Double Throw Light w/ 20 Circuit		Recessed 1x4 Fluorescent Fixture w/4 40 Watt Bulbs
	36" Strip Light w/4 40 Watt Frosted Bulbs		Door Chime
	Linear Cabinet Strip Light		Push Button
	Six Linear Ceiling Mounted 500 Lumen 10' Height		Breaker Panel

POWER RISER DIAGRAM

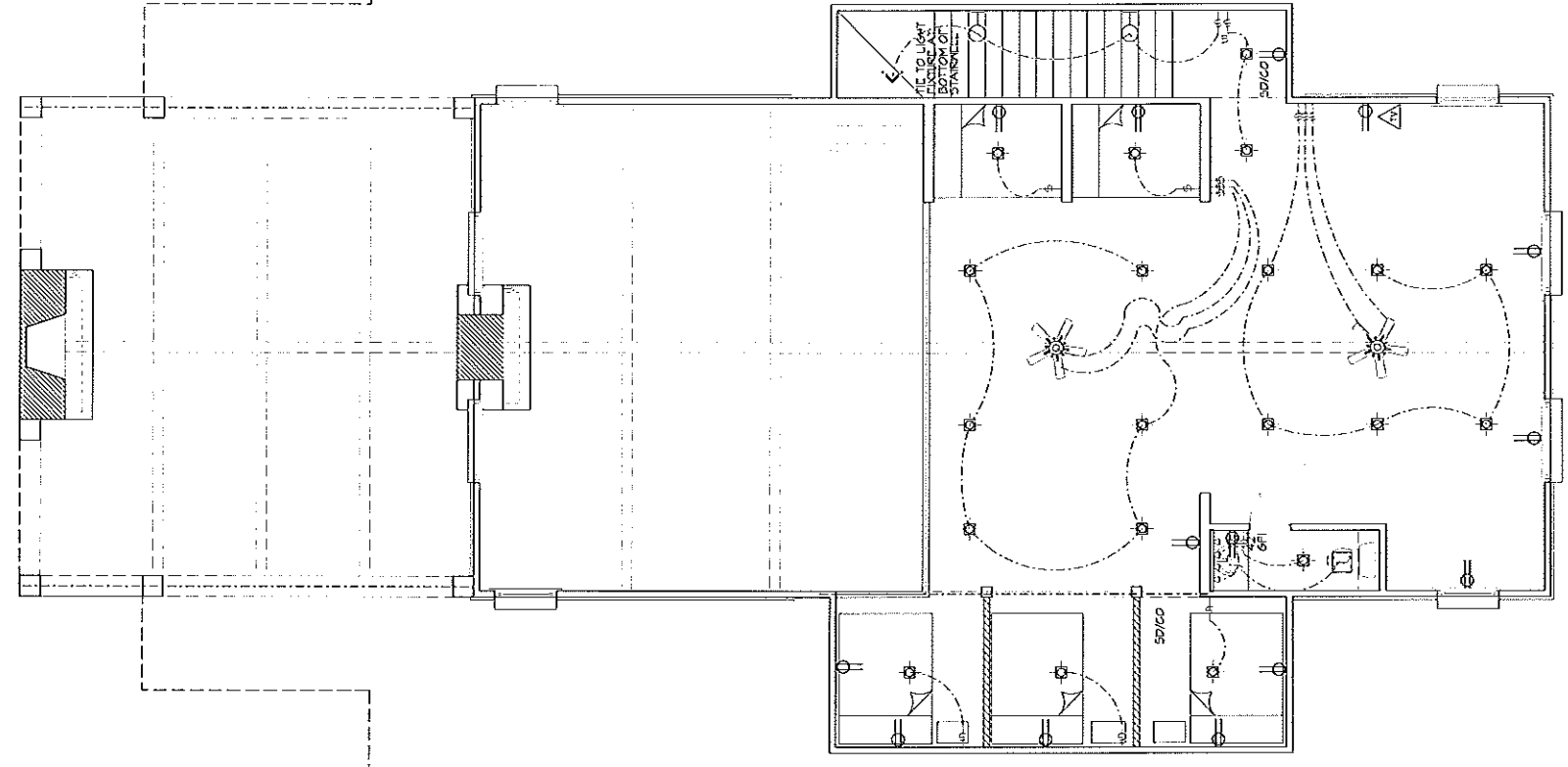


- GENERAL CODE NOTES**
1. ALL BEDROOMS TO BE ARC FAULT PROTECTED.
 2. MAKE SURE GAS IS PROPERLY GROUNDED.
 3. VENT ALL BATHROOM EXHAUST FANS THRU ROOF.
 4. SEE ATTIC SPACE FOR LOCATION OF HVAC AND WATER HEATERS.

ELECTRICAL SCHEDULE

- A. PANEL SCHEDULE TO INCLUDE THE FOLLOWING MINIMUM NUMBER OF CIRCUITS:
1. ONE IS APFRESH BRANCH CIRCUIT FOR EACH 600 SQ. FT. FOR LIGHTING AND GENERAL PURPOSE RECEPTACLE.
 2. TWO 30 AMP BRANCH CIRCUITS FOR SMALL APPLIANCES.
 3. ONE BRANCH CIRCUIT FOR THE RANGE ON COOKTOP.
 4. ONE BRANCH CIRCUIT FOR THE RANGE ON COOKTOP.
 5. ONE BRANCH FOR A/C AND HEATING.
- B. GFCI PROTECTION IS REQUIRED IN THE BATHROOM, KITCHEN, ENTRY AND ATTIC CENTER FOR RECEPTACLES.

- GENERAL LIGHTING NOTES**
- A. LIGHT FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO LOCATIONS SHOWN ON THIS SHEET.
 - B. FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENTS.
 - C. COORDINATE LOCATIONS OF LIGHT FIXTURES WITH HVAC GRILLES SO THAT THEY ALIGN WITH OR ARE AT LEAST SYMMETRICAL WITH EACH OTHER WHERE REQUIRED SO THAT THEY ALIGN WITH LIGHT FIXTURES. LIGHT FIXTURES AND SWITCH LOCATIONS SHALL BE REVIEWED AND APPROVED BY OWNER OR INTERIOR DESIGNER BEFORE INSTALLATION OF SHEETROCK OR OTHER WALL AND CEILING FINISHES.
 - D. CENTER ITEMS SHOWN IN CEILING AREA UNLESS NOTED OTHERWISE.
 - E. CENTER DIMENSIONS ARE SHOWN TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
 - F. SWITCHES SHALL BE LOCATED ADJACENT TO BUT NOT INTERSECTING DOOR CASINGS OR TRIM. VERIFY TRIM SIZE AND SELECTION FOR EACH ROOM. GROUPED SWITCHES SHALL BE GANGED TOGETHER AND SHALL BE GANGED TO THE CENTER OF THE SWITCHES.
 - G. SWITCHES SHALL BE MOUNTED 48" AFF. TO CENTER OF SWITCH.
 - H. VERIFY DEVICE AND PLATE COLORS WITH OWNER OR INTERIOR DESIGNER.
 - I. CONSULT WITH OWNER AND ADD EXTERIOR SECURITY LIGHTING IF REQUIRED. VERIFY LIGHTING TYPE AND SWITCHING.
 - J. CONSULT WITH OWNER AND ADD LANDSCAPING LIGHTING IF REQUIRED. VERIFY LIGHTING TYPE AND SWITCHING. CONNECT ALL EXTERIOR LIGHTING TO PHOTOCELL CONTROLS. RELAYS WITH INELock OVERRIDE FOR THE-CONTROLLABLE ILLUMINATION DURING DARKNESS.
 - K. ALL FLUORESCENT LAMPS SHALL BE WARM WHITE DELUXE.



Electrical Plan-Second Floor
 SCALE: 1/4" = 1'-0"

NOTE: OUTLETS IN KITCHEN TO BE 5'1" ± AFF. U.O.N.

NOTE: ALL OUTLETS IN BATHS TO BE 6'1" ± AFF. U.O.N.

NOTE: ALL OUTLETS IN UTILITY TO BE 6'1" ± AFF. U.O.N.

CONTRACTOR TO PROVIDE UPSUR FOR LOWER GAS LIGHTING